

Page 1: DRC Site Plan - Applicant Information Sheet

**INSTRUCTIONS:** The following information is requested pursuant to the City’s Unified Land Development Regulations (ULDR). The application must be filled out accurately and completely. Please print or type and answer all questions. Indicate N/A if does not apply.

**NOTE:** To be filled out by Department

Case Number	
Date of complete submittal	

**NOTE:** For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

Property Owner’s Name	
Property Owner’s Signature	If a signed agent letter is provided, no signature is required on the application by the owner.
Address, City, State, Zip	
E-mail Address	
Phone Number	
Proof of Ownership	[    ] <u>Warranty Deed</u> or    [    ] <u>Tax Record</u>

**NOTE:** If **AGENT** is to represent **OWNER**, notarized letter of consent is required

Applicant / Agent’s Name	
Applicant / Agent’s Signature	
Address, City, State, Zip	
E-mail Address	
Letter of Consent Submitted	

Development / Project Name	
Development / Project Address	<u>Existing:</u> _____ <u>New:</u> _____
Legal Description	
Tax ID Folio Numbers (For all parcels in development)	
Request / Description of Project	
Total Estimated Cost of Project	\$ _____ (Including land costs)

Current Land Use Designation	
Proposed Land Use Designation	
Current Zoning Designation	
Proposed Zoning Designation	
Current Use of Property	
Number of Residential Units	
Non-Residential SF (and Type)	
Total Bldg. SF (include structured parking)	
Site Adjacent to Waterway	[    ] Yes                      [    ] No

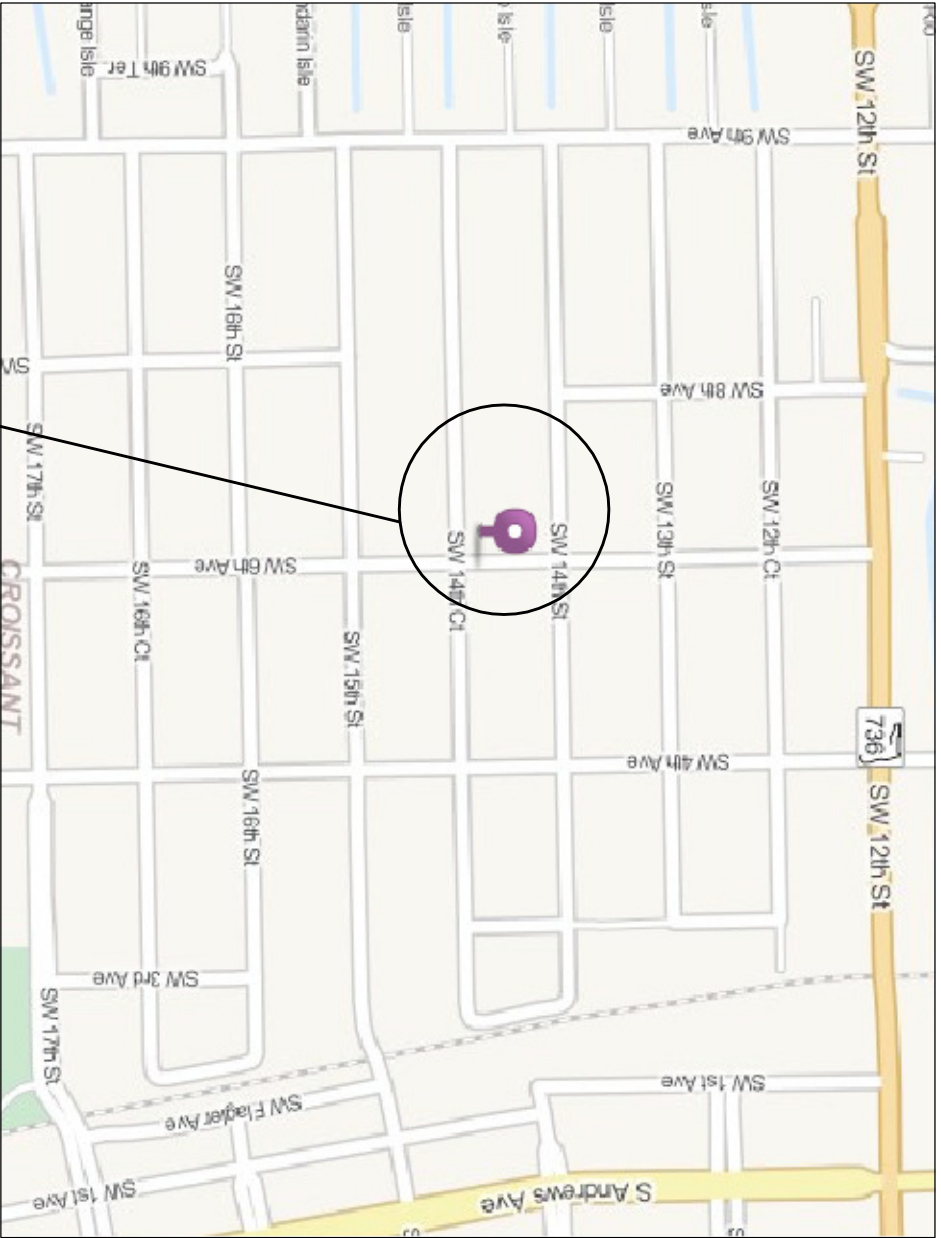
Dimensional Requirements	Required	Proposed
Lot Size (SF / Acreage)		
Lot Density		
Lot Width		
Building Height (Feet / Levels)		
Structure Length		
Floor Area Ratio		
Lot Coverage		
Open Space		
Landscape Area		
Parking Spaces		

Setbacks (indicate direction N,S,E,W)	Required	Proposed
Front [____]		
Side [____]		
Side [____]		
Rear [____]		



REVISIONS	BY

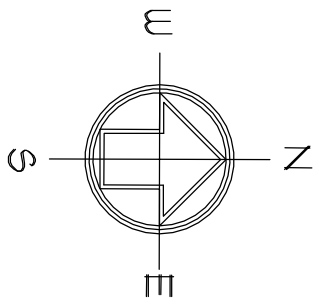
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THIS VACANT  
PROPERTY

## VICINITY PLAN

NO SCALE



# A THREE FAMILY DWELLING FOR KENCO BUILDERS, INC. 1417 S.W. 6TH AVENUE FT. LAUDERDALE, FLORIDA



SUBJECT PROPERTY-FACING NORTHWEST



S.E. CORNER-FACING EAST



S.E. CORNER-FACING NORTH



S.E. CORNER-FACING WEST




S.E. CORNER-FACING SOUTH

PROJECT TEAM	
PROJECT ARCHITECT	JOHN T. LAMB, AIA FL. LIC. # AR2005920 5485 WILES ROAD, SUITE 407 COCONUT CREEK, FLORIDA 33073 954-978-3340 PH & FAX email: archtype@celle.com
GENERAL CONTRACTOR	KEN FERNANDEZ KENCO BUILDERS, INC. 7031 9th 2ND COURT, SUITE D DAVIE, FLORIDA 33317 954-571-0303 OFF email: kenfernandez2606@comcast.net
INDEX OF DRAWINGS	
PC-1 PROJECT COVER / LOCATION MAP	PROJECT SUMMARY: CONSTRUCTION OF A NEW TWO STORY C.B.A. STRUCTURE WITH 3 INDIVIDUAL DUELLINGS ATTACHED
1/0 SITE PLAN / LOCATION PLAN	ZONING CLASSIFICATION: EXISTING ZONING DISTRICT: RD-15
1/1 STORMWATER POLLUTION PREVENTION PLAN	OCCUPANCY CLASSIFICATION: GROUP R-2 MULTI-FAMILY TYPE V-B CONSTRUCTION
1/2 LANDSCAPE PLANDetails	NOV. FIRE SPROINKLERED
3/0 FIRST FLOOR PLAN	
4/0 SECOND FLOOR PLAN	
5/0 EXTERIOR ELEVATIONS	
6/0 EXTERIOR ELEVATIONS	
PROJECT DATA	

SITE PLAN APPROVAL SUBMITTAL

DRAWN	AMOS C.
CHECKED	JOHN L.
DATE	2/14/17
SCALE	AS NOTED
JOB NO.	214-117-DMC
SHEET	
PC-1	
OF	SHEETS

**ARCHTYPE  
DESIGN  
INC.**

JOHN LAMB  
5485 WILES ROAD SUITE 407  
COCONUT CREEK, FL. 33073

AA0003503  
AR0015890

A THREE FAMILY DWELLING FOR:

**KENCO BUILDERS INC.**

1417 S.W. 6TH AVENUE  
FT. LAUDERDALE, FLORIDA



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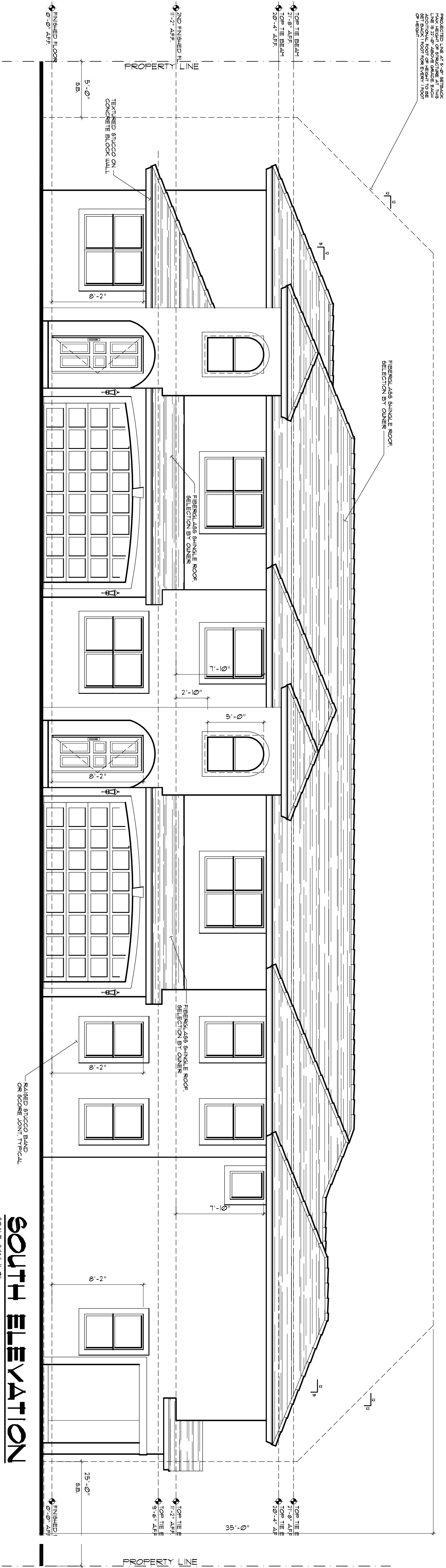
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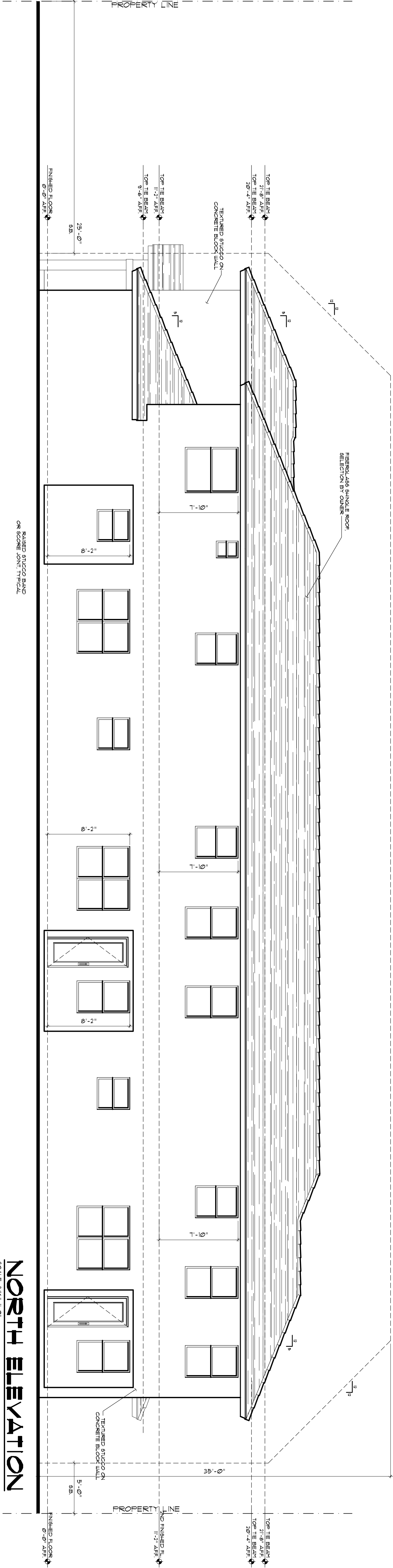
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**SOUTH ELEVATION**

SCALE: 3/8"=1'-0"



**NORTH ELEVATION**

SCALE: 3/8"=1'-0"

SITE PLAN APPROVAL SUBMITTAL

DRAWN	AMOS C.
CHECKED	JOHN L.
DATE	4-16-15
SCALE	AS NOTED
JOB NO.	214-117-BMC
SHEET	5.0
OF	SHEETS



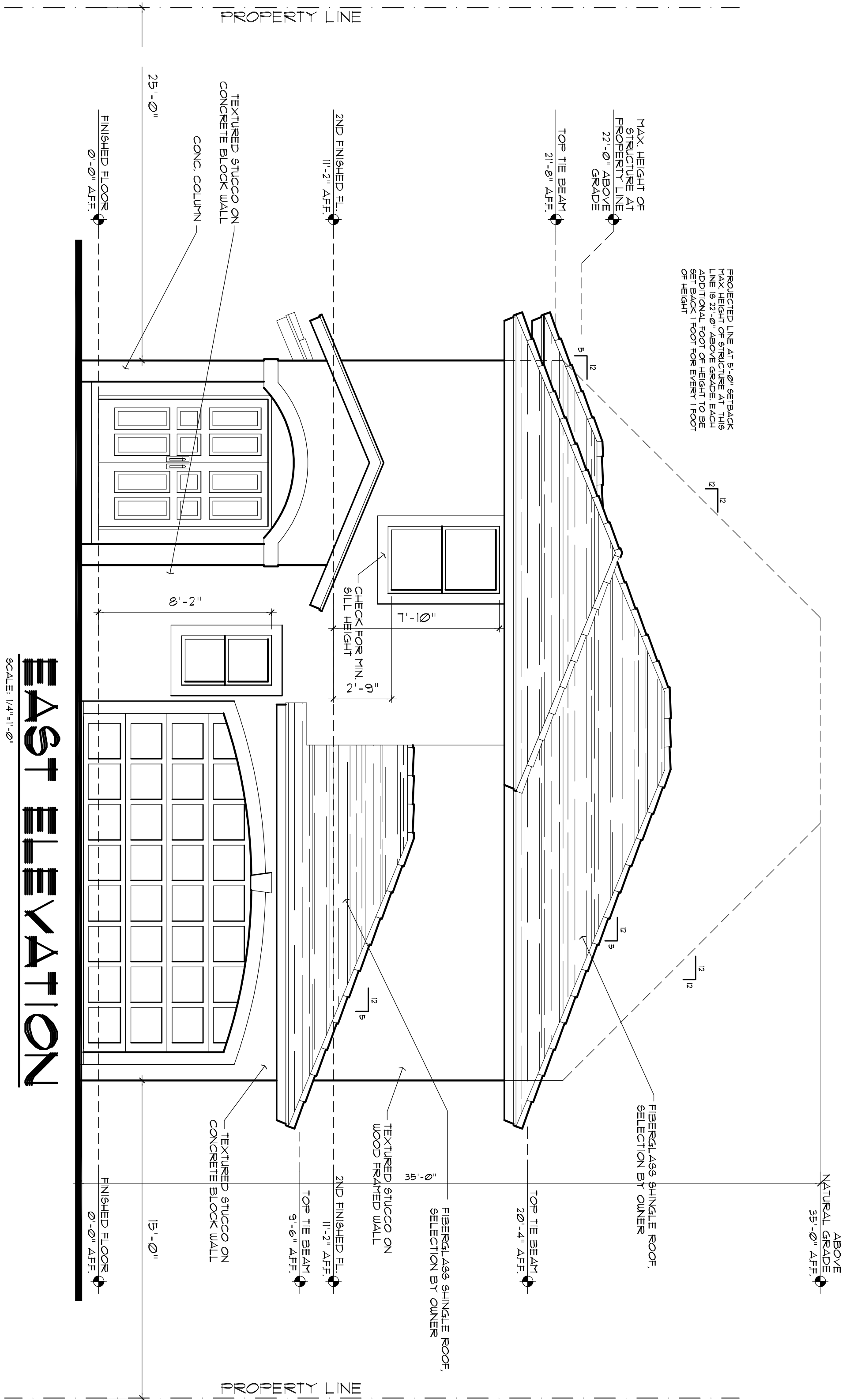
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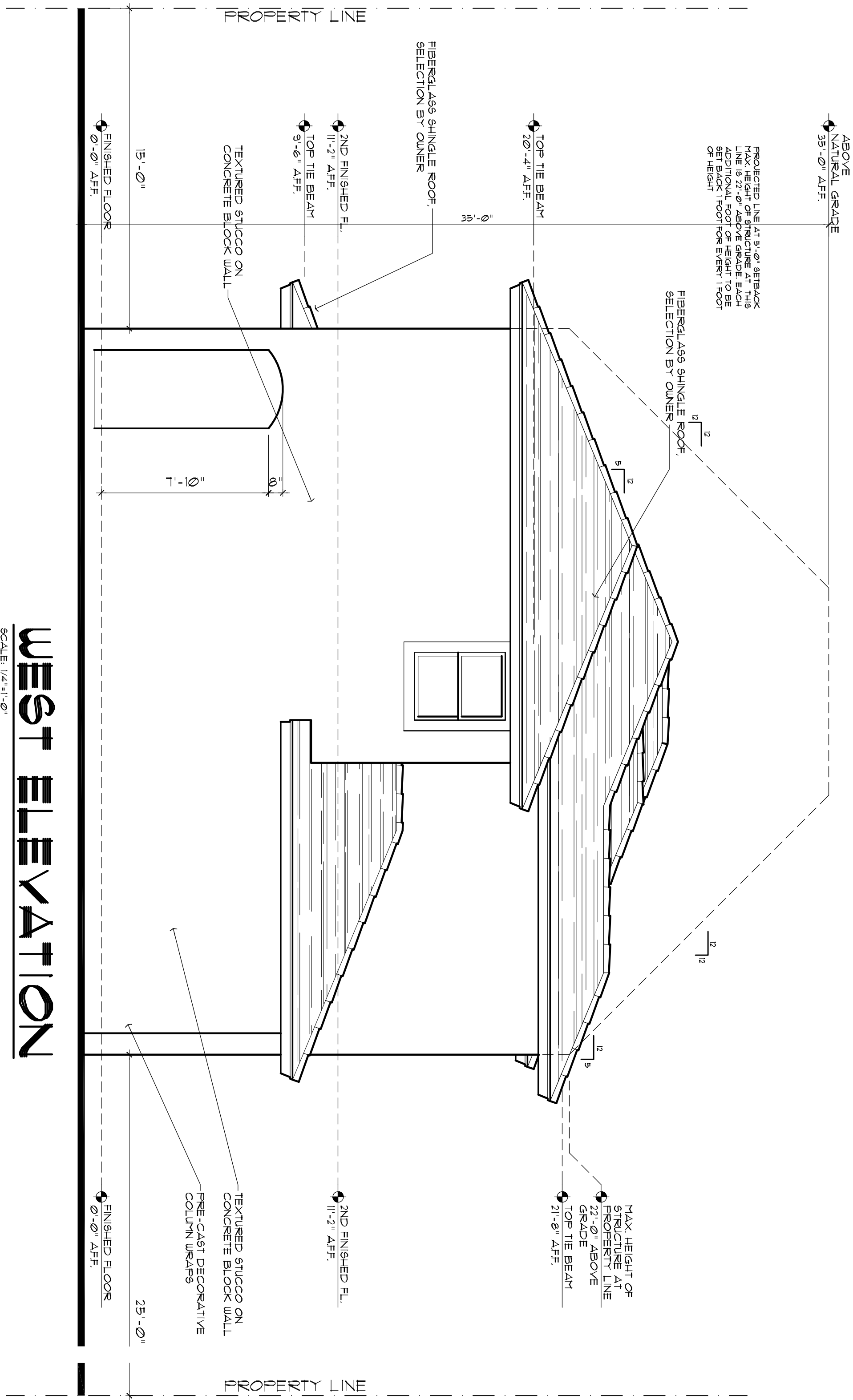
A THREE FAMILY DWELLING FOR:  
**KENCO BUILDERS INC.**  
1417 S.W. 6TH AVENUE  
FT. LAUDERDALE, FLORIDA





## EAST ELEVATION

SCALE 1/4" = 1'-0"



## WEST ELEVATION

SCALE 1/4" = 1'-0"

SITE PLAN APPROVAL SUBMITTAL

REVISIONS	BY

DRAWN AMOS C.	DATE 4-16-15	SCALE AS NOTED	JOB NO. 214-117BNC	SHEET 6.0
CHECKED AMOS C.	DATE 4-16-15	SCALE AS NOTED	JOB NO. 214-117BNC	SHEET 6.0

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A THREE FAMILY DWELLING FOR:

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**CITY OF FORT LAUDERDALE**

## **DEVELOPMENT REVIEW COMMITTEE (DRC) COMMENT REPORT**

**Meeting Date:** July 14, 2015

**Project Name:** Kenco Builders / Kenco 3 Family

**Case Number:** R15030

**Request:** Site Plan Level III Review: Three (3) Unit cluster  
Development

**Location:** 1417 SW 6<sup>th</sup> Avenue

**Zoning:** Residential Single Family and Duplex / Medium  
Density (RD-15)

**Land Use:** Medium

**Project Planner:** Eric Engmann



**Case Number: R15030**

**GENERAL COMMENTS:**

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

1. The Florida Building Code shall apply to the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.
2. The City of Fort Lauderdale is a participating municipality in the National Flood Insurance Program (NFIP). The requirements specific to the City of Fort Lauderdale can be found in **Chapter 14 - FLOODPLAIN MANAGEMENT of the Code of Ordinances** and accessed at;
  - a. [https://www.municode.com/library/fl/fort\\_lauderdale/codes/code\\_of\\_ordinances?nodeId=COOR\\_CH14FLMA](https://www.municode.com/library/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA)

Please consider the following prior to submittal for Building Permit:

1. The Building Code in effect will be the date of application for the building permit. Each building will require a separate permit. The 2010 Edition of the Florida Building is currently in effect. However, on June 30<sup>th</sup> 2015 the Code will be updated to the 5<sup>th</sup> Edition. All work described in Section 101.2, of the Broward County Administrative portion of the Florida Building Code, will govern the administration and enforcement of the proposed work. The following websites will assist in the design considerations;
  - b. <http://www.fortlauderdale.gov/departments/sustainable-development/building-services>
  - c. [https://floridabuilding.org/dca/dca\\_fbc\\_default.aspx](https://floridabuilding.org/dca/dca_fbc_default.aspx)
  - d. <http://www.broward.org/codeappeals/pages/default.aspx>



**Case Number: R15030**

**RIGHT OF WAY / EASEMENT DEDICATIONS REQUIRED PER ULDR SECTION 47-25.2.M.5:**

- a. 20' corner chord Right-of-Way dedication, at the corner of S.W. 14th Court & S.W. 6th Avenue intersection

**CASE COMMENTS:**

**A. Please respond to Comments 1 through 10 prior to Pre P&Z sign off**

1. Meet the City's Adequacy requirements to services provided to the public (fire service, water, wastewater, stormwater, transportation, etc.), per ULDR Section 47-25.2 of the City's Code of Ordinances. Assess potential demands and impacts on City services and prepare a design for each that utilizes existing water, wastewater, stormwater, and transportation infrastructure to adequately serve this project. If adequate infrastructure is not available, prepare a design that extends/expands the connection to the nearest City system to adequately serve this development.
  - a. Prepare service demand calculations for water & wastewater services and obtain a letter of service availability from the City's Public Works – Engineering Department. Please contact Jorge Holguin at 954-828-5675 or [jholguin@fortlauderdale.gov](mailto:jholguin@fortlauderdale.gov).
  - b. Prepare & submit an application for a Developer Agreement (Water & Wastewater permit packages) with the Department of Sustainable Development. Coordinate the submittal through Alex Scheffer, P.E. – Urban Design Engineer at (954) 828-5123 or [ascheffer@fortlauderdale.gov](mailto:ascheffer@fortlauderdale.gov).
  - c. Coordinate all transportation related requirements with Alia Awwad, P.E. at (954) 828-6078 or [aawwad@fortlauderdale.gov](mailto:aawwad@fortlauderdale.gov) with the Transportation & Mobility Department to meet the Transportation aspect of the Adequacy requirements.
  - d. Coordinate the minimum Finished Floor Elevation approval with Richard Benton – City Floodplain Manager at (954) 828-6133 or [rbenton@fortlauderdale.gov](mailto:rbenton@fortlauderdale.gov); please note that additional notes may be required on the Site Data table.
2. Provide documentation from the Broward County Planning Council (BCPC) verifying whether the site requires platting/replatting. The documents from BCPC shall be submitted to the City's engineering reviewer. The BCPC may be contacted at (954) 357-6695.
3. Please be advised that any road cuts for utilities or curb cuts within 50' in the City Right-Of-Way shall be restored to full lane width, per City Code of Ordinances Section 25-108.
4. Provide a 25' sight triangle shown at corner of S.W. 14th Court & S.W. 6th Avenue at property boundaries on the Site Plan, Sheet 1.0.
5. Provide 10' sight triangles shown at the edge of pavement for all driveways on the Site Plan, Sheet 1.0.
6. Evaluate the possibility of utilizing a sustainable stormwater approach with the possibility of utilizing sustainable practices (cisterns, pervious pavers, etc.) uses for landscaping along the streetscape, as well as utilizing pervious pavers in the City Right-Of-Way.
7. Please be advised that a Maintenance Declaration will be required for all improvements in the City Right-Of-Way, including but not limited to lighting, landscaping, special paving and stormwater improvements.



8. Discuss if pedestrian lighting is proposed, or if not, discuss the possibility of the addition of pedestrian lighting along City Right-of-Way. Please contact the Case Planner for details to match the area.
9. All concrete sidewalks preferred with 5-foot (min.) width, 4-inch (min.) thickness, 6-inch (min.) thickness in driveway areas, and constructed to City specifications per ULDR Section 47-24.5.E.e.
10. Please prepare and submit the following exhibits which clearly define the following (as applicable):
  - a. Construction Phasing Exhibit
  - b. Right-Of-Way / Easement Dedication / Vacation Exhibit
  - c. Maintenance Agreement Area Exhibit
  - d. Revocable License Area Exhibit

**B. Respond to Comments 11 through 17 prior to Final DRC sign off**

11. Submit a signed and sealed survey showing all above ground improvements, utilities, rights of way dimensions and all easements. This survey shall be based on an a Standard Title Commitment issued by a title insurer licensed to do business in Florida or an Opinion of Title issued by an attorney admitted to the Florida Bar. The title commitment or Opinion of Title must have an effective date no more than thirty days prior to the date of submittal of the survey and must be certified to the City of Fort Lauderdale. Additionally, an affidavit shall be provided by the property owner attesting that there were no additional recordings of easements or encroachments from survey date to the final DRC sign off date.
12. Survey shall show existing topography for stormwater and flood approval.
13. Prepare and submit an erosion and sediment control plan. This plan shall be reviewed for the drainage impacts to adjacent properties, surrounding rights of way, stormwater facilities, and neighboring water bodies.
14. Prepare and submit the following civil engineering drawings, signed and sealed by a Florida registered professional Civil Engineer:
  - a. Paving, Grading, and Drainage Plan, including the sizes and dimensions of all stormwater infrastructure.
  - b. Water and Sewer Plan, including any existing water main, force mains, gravity mains, etc. (show all materials & pipe sizes on the plan). Please be advised that all water mains shall be constructed with DIP piping in the City Right-Of-Way.
  - c. Provide typical cross-sections and section profiles along all property lines, and show how the existing and proposed grades will tie to one another. Also, show spot elevations along the perimeter (property lines) on the Paving, Grading, and Drainage plan.
  - d. Signing and marking plan, including the radii for all landscaping and pavement areas.
15. Provide an on-site drainage system along with storm runoff calculations (signed and sealed by a Florida registered professional engineer). The calculations shall show how the minimum road crown and finished floor elevations are met, and how the 25-year, 3-day storm event is maintained on site with zero discharge to right-of-way and adjacent properties. In addition, please note that the City does not allow connecting the on-site stormwater drainage system with those in the City's right-of-way. Fill requirements to be provided by City Floodplain Manager, Richard Benton.
16. Provide support data that this site meets the fire hydrant locations and distribution as per the NFPA Codes and Standards. Clearly show all existing and proposed fire hydrants and 500-foot radius of coverage area. In addition, please note that a fire hydrant shall be installed within 100 feet of the Fire Department Connection.
17. Show utilities on the landscaping plans for potential conflict.



**C. Respond to Comments 18 through 31 prior to Engineering Permit Approval**

18. The applicant shall verify that there are no easements or other instruments of record which impact the Engineering Department's ability to permit this site plan. In the event such instruments exist and are recorded in the office of records, Broward County, FL, the owner risks delay or denial of the building permit.
19. Please be advised that all proposed improvements within or adjacent to the City's right-of-ways are subject to issuance of permit from the City, as well as the execution of an agreement that may authorize the City for removing those improvements for any public purpose in the future. In addition, please note that a maintenance agreement shall be executed with the City acknowledging that the Applicant will maintain all the facilities, landscaping, and hardscaping improvements within the City's right-of-way.
20. Obtain a Transportation Concurrency Satisfaction Certificate from the Broward County Planning and Environmental Regulation Division (BCPERD). Please contact Evangeline Kalus at (954) 357-6632 or [EKalus@broward.org](mailto:EKalus@broward.org) at BCPERD to determine whether the project is subject to the Transportation Concurrency Fees. In addition, please contact Pierre Dougniaux with the Broward County Transit Division at (954) 357-8304 to determine what (if any) improvements are suggested to ensure mobility needs are adequately met for this proposed site.
21. Obtain a general or surface water management license from the Broward County Environmental Protection & Growth Management Division (BCEPGMD). Route certified calculations with Paving & Drainage plans to engineering reviewer.
22. Verify the means for the demolishing the existing structures on the property so that appropriate timely notice and coordination can be executed with the City Public Works Utilities, and franchise utility companies to control the impacts from the demolition. Please be advised that a permit is required for demolishing work activities.
23. Prepare an appropriate staging plan, which includes phasing and information regarding the site layout of the temporary construction measures. The purpose of this plan is to identify the temporary construction measures that will be used to protect the general public, adjoining properties, and minimize the impact of the construction on neighboring transportation system, landscaping, right-of-way encroachments, and businesses. The items to be addressed by the staging plan shall include but not limited to the following:
  - a. Submit a Construction Phasing Plan clearly depicting the phasing of construction if applicable. The plan shall show the following:
    1. Include a narrative for each phase along with roadways utilized for materials delivery
    2. Clearly show boundaries of the site, dimensions and names of all streets and alleys, direction of travel, bike lanes, on-street parking and sidewalks
    3. Show location of Job trailers or construction offices for the staff, general contractor, and subcontractors with Finished Floor Elevations
    4. Show location, type and size of temporary construction fencing, including locations of gates and gate swing radii. If corners of fence correspond with cross streets, propose a fence boundary that will not obstruct sight lines for motor vehicles
    5. Show location and type of construction crane(s), including span radius
    6. Indicate location and number of portable rest rooms, dumpsters, and trash chutes
    7. Show location of the Fire Department Connection during construction and a water supply (hydrant) in accordance with N.F.P.A.1, Chapter 29
    8. Show location of any sidewalk to be closed or protected as required by Chapter 33 of the Florida Building Code
    9. Indicate location and time frame of any street closures (part or all of street) with a detour signage plan meeting MUTCD standards, prepared by a Certified Traffic engineer or technician. Please be



advised that the City Commission approval will be required for detours and street and sidewalk closures lasting over 72 hours, and the said approval may take eight (8) weeks or more

10. Show all existing parking spaces that may be affected by the construction (or construction phasing) and indicate all parking spaces that would be included within proposed construction boundaries for each phase
  11. Show location of parking for inspectors and construction personnel. Include all off site parking- location, period of lease and number of spaces leased. If shuttle will be provided between parking and job site – give shuttle schedule and show route of shuttle
  12. Show loading/unloading areas for material delivery to include entry and exit path of vehicles without backing into street
  13. Show routes that delivery trucks will be instructed to follow when traveling to and from the site. All efforts should be made to avoid residential and/or small, merchant lined streets. This may be shown on a separate drawing, prepared at an appropriate scale in order to illustrate route through the City
  14. Indicate where and how concrete trucks will stage during multiple yardage pours
  15. Provide an Erosion Control Plan and show location and type of silt fencing for dust control along with measures for erosion control against material leaving site from vehicular traffic
  16. Indicate the locations of storm inlets. If physical measures will be taken to protect inlets, illustrate these on the Erosion Control Plan
  17. Show locations of truck wash-off area and procedures, including tires and concrete chutes
  18. Indicate schedule for rout line street sweeping of periphery of construction site
  19. Indicate if dewatering is proposed.
24. Obtain a dewatering permit as required from the Broward County Environmental Protection Dept. (EPD). This permit is required only if the site is within 1/4 mile of a known contamination site. The EPD contact is David Vanlandingham ([dvanlandingham@broward.org](mailto:dvanlandingham@broward.org) or 954/519-1478). He prefers to be notified via email for the quickest response. You can view their standard operation procedures for dewatering at [http://www.broward.org/pprd/cs\\_dewatering.htm](http://www.broward.org/pprd/cs_dewatering.htm).
25. Apply and obtain a SFWMD dewatering permit activities if off-site discharge is anticipated. Any planned activity that requires dewatering needs to be reviewed by SFWMD. In many cases, this could involve an email to SFWMD that include a description of the activity. If no permit is required, SFWMD will let you know. The SFWMD contact person is Steve Memberg ([smemberg@sfwmd.gov](mailto:smemberg@sfwmd.gov)).
26. Contact the Broward County Transit to determine whether the project is within the Transportation Concurrency Exception Area (TCEA) and subject to road impact fees. The City's Transportation Element requires developers within the TCEA to meet with and include the Broward County Transit representatives in proposed enhancements or improvements to their systems. Please contact Pierre Dougniaux (B.C. Transit) at 954-357-8304 to determine what (if any) improvements are suggested to ensure mobility needs are adequately met for this proposed site.
27. Pay capital expansion fees for water and wastewater treatment, distribution, and disposal at the rate identified in Ordinance C-05-21. The fee will be calculated based on Equivalent Residential Connections (ERC's). Provide a calculation for existing and proposed ERC's for approval by Urban Design Engineer. Impact fees shall be paid prior to the issuance of the building permit.
28. Resolve the minimum standards for the State of Florida Notice of Intent (FAC 62-621.300(4)(b)) per the Florida Department of Environmental Protection (FDEP) criteria. Notice is required for sites of one (1) acre or larger site area with the potential for discharge of sediments to surrounding surface waters or drainage systems which discharge indirectly to those surface waters as classified or otherwise identified in the Florida Administrative Code (FAC). Therefore, the Applicants whose projects disturb one or more acres of soil or whose projects disturb less than one acre but are part of a larger common plan of development that in total disturbs one or more acres, are required to obtain coverage under the General Permit for Discharges of Storm Water Associated with Construction Activity.



29. Please note that any lighting onsite or in the City's right-of-way (ROW) or both, shall be approved and authorized by the City's Engineering and /or Building (Electrical Staff) Department. Any lighting placed in the ROW shall be powered by an approved lighting circuit from the proposed development or FPL source, and will require an engineering permit. Any new lighting system powered by private source shall require a revocable license agreement with the City along with a "disconnect" that shall be accessible by Facilities Maintenance staff in or near the right of way. Please contact the Facilities Maintenance office, David Smith at (954) 828-6560, for information concerning the lighting within the City's Right-Of-Way.
30. Obtain an engineering permit before installing, removing, or relocating poles (lighting or electrical) within the City's right of way. Permanent or temporary relocations or removals shall be reviewed and approved by the City.
31. Please discuss with City Public Works Department - Utilities, Rick Johnson at (954) 828-7809, concerning the proposed methods of noise, vibration, and odor mitigation.



**Case Number:** R15030

**CASE COMMENTS:**

Please provide a response to the following:

1. Three or more apartments as defined in the NFPA will require fire sprinklers per NFPA 101 30.3.5.1

**Case Number:** R15030

**CASE COMMENTS:**

Please provide a response to the following:

1. The zoning of this property requires a minimum of 35 percent of the gross lot square footage shall be in landscaping, maintained by an irrigation system. The minimum twenty percent VUA required landscaping may be used toward fulfilling the gross thirty-five percent minimum.
2. The zoning of this property requires at least one tree for each 1,000 square feet of net lot area or portion thereof. This tree planting requirement is in addition to the VUA landscaping requirements. Twenty percent of the trees shall be shade trees. Please illustrate the calculations and planting on plan.
3. The zoning of this property requires at least twelve ornamental shrubs for each 1,000 square feet of net lot area or portion thereof. Shrub planting requirements are in addition to the VUA requirements.
4. Review the City of Fort Lauderdale's Florida Friendly Landscaping requirements which have been adopted into the Landscape and Tree Preservation Requirements of our ULDR 47-21. There are certain calculation, hydrozone planting, irrigation, street tree, etc requirements that must be provided. Refer to Landscaping & Trees subheading at Building Permit Link at [www.fortlauderdale.gov](http://www.fortlauderdale.gov) to view the official City Commission approved ordinance.
5. Provide a corresponding list of these trees/palms including:
  - a. tree number for each
  - b. botanical name and common name for each
  - c. trunk diameter, in inches, at chest height for trees
  - d. clear trunk in feet for palms
  - e. condition percentage as a number for each
  - f. and status (remove, relocate, remain) for each
  - g. This information is required to confirm site inspection results and calculate equivalent replacement requirements.
6. Provide mitigation calculations for replacement tree requirements. Confirm that mitigation is being met on site. Reference Landscaping & Trees subheading at <http://www.fortlauderdale.gov/departments/sustainable-development/building-services/building-permits> for permit, calculation, and document downloads.
7. Light pole locations are not to be within 15' of tree locations. Note this on photometric, electrical, site and landscape plans to help avoid conflicts during construction.
8. Confirm with civil and life safety plans that utilities are not causing conflicts with proposed landscaping. Where conflicts exist, shift the utility.
9. Landscape plans are to be signed and sealed by a Florida Registered Landscape Architect.

Please consider the following prior to submittal for Building Permit:

10. A separate sub-permit application for Tree Removal and Relocation is required at time of master permit submittal.
11. A separate sub-permit application for General Landscaping is required at time of master permit submittal.



12. Provide irrigation plan illustrating an automatic system which provides 100% coverage, 50% overlap and rain sensor shut off device. This is to include the rights-of-way areas and the outside of buffer yard wall.

**Case Number: R15030**

**CASE COMMENTS:**

Please provide a response to the following:

- 1) The applicant is strongly encouraged to contact neighbors adjacent to, as well as condominium and neighborhood associations located within three hundred feet (300') of the development site, to advise of this proposal (a listing of officially-recognized neighborhood associations is provided on the City's website: <http://www.fortlauderdale.gov/neighborhoods/index.htm>). Please provide acknowledgement and/or documentation of any public outreach.
- 2) The site is designated Medium Residential on the City's Future Land Use Map. The proposed use is permitted in this designation. This is not a determination on consistency with Comprehensive Plan Goals, Objectives and Policies.
- 3) The proposed project requires review and approval by the Planning and Zoning Board (PZB). A separate application and fee is required for PZB submittal, and the applicant is responsible for all public notice requirements (Sec. 47-27). In addition, the development permit shall not take effect nor shall a building permit be issued until thirty (30) days after approval, and then only if no motion is adopted by the City Commission seeking to review the application.
- 4) Please note that pursuant to the recent passing of an ordinance outlining Public Participation requirements of Unified Land Development Regulations (ULDR) Sec. 47-27.4.A.2.c., prior to submittal of the application to the Planning and Zoning Board (PZB), a notice from the applicant via letter or e-mail shall be provided to official city-recognized civic organization(s) within 300 feet of the proposed project, notifying of the date, time and place of applicant's project presentation meeting to take place prior to the PZB meeting.

The applicant shall then conduct a public participation meeting(s) a minimum of 30 days prior to the PZB. This date and location of the meeting is at the discretion of the applicant. Once the meeting(s) is/are conducted, the applicant shall provide a written report letter to the Department of Sustainable Development, with copy to subject association(s), documenting the date(s), time(s), location(s), number of participants, presentation material and general summary of the discussion after a public participation meeting(s). The report letter shall summarize the substance of comments expressed during the process and shall be made a part of the administrative case file record.

The applicant shall, 10 days prior to the PZB, execute and submit to the department an affidavit of proof of public notice according to this section. If the applicant fails to submit the affidavit, the public hearing will be postponed until the next available hearing date after the affidavit has been supplied.

- 5) Indicate the project's compliance with the following ULDR sections by providing a point-by-point narrative response, on letterhead, with date and author indicated.
  - a. Sec. 47-18.9, Cluster Dwellings
  - b. Sec. 47-25.2, Adequacy Requirements
  - c. Sec. 47-25.3, Neighborhood Compatibility Review
- 6) Consider the following changes to comply with the intent of the Cluster Development requirements:
  - a) **Porches.** Consider expanding the porches to provide a more human-scale environment and create a better building presence along the street. Also, consider wrapping the porch of the unit fronting on SW 6 St and SW 14 Ct, around to the south side of the building to enhance the building presence at this corner. The porches can be extended into the setbacks up to 17 feet from the property lines per ULDR Sec. 47-19.2.Y.
  - b) **Balconies.** Consider adding balcony features within the setback area to provide additional building articulation, contribute to the visual variety of the streetscape and create a better presence along the street.
  - a) **Sidewalks.** Provide sidewalks from building entrances directly to the property line.



- b) **Massing along Side Yard.** Provide additional articulation and design features along the north side of the property (side yard) in order to animate the building façade and enhance visual interest.
  - c) **Shared Amenity.** Provide a shared amenity (e.g. pool, spa, outdoor grill, covered terrace, etc.) as required in Sec. 47-18.9.B. This area must be set back at least five feet from the side and rear yards.
  - d) **Façade Articulation.** Discuss possible opportunities to provide additional articulation along the building façade.
- 7) In an effort to reduce non-pervious ground area, please consider using pervious paving where possible.
  - 8) Provide an access easement on the site plan as required per Sec. 47-18.9.C.4.
  - 9) Dimension the parking spaces inside of the garages.
  - 10) This project is subject to the requirements of Broward County Public School Concurrency. The City will notify the School Board Superintendent or designee of this proposal. Prior to submitting an application for placement on a PZB or City Commission agenda, a written response from the School Board shall be provided by the applicant. Prior to application for final DRC approval, please provide confirmation from the School District that the residential development is exempt or vested from the requirements of public school concurrency, or a School Capacity Availability Determination (SCAD) letter that confirms that capacity is available, or if capacity is not available, that mitigation requirements have been satisfied.
  - 11) Please provide total park impact fee amount due. Park impact fees are assessed and collected at time of permit per each new hotel room and dwelling unit type. An impact fee calculator can be found at: <http://fortlauderdale.gov/departments/sustainable-development/building-services/building-permits/park-impact-fee-calculator>.
  - 12) Consider employing green building practices throughout the project including, but not limited to charging stations, tankless water heaters, rain collection systems, pervious on-street parking, bio-swales, Florida Friendly™ plant materials, solar panels and green roofs.

#### **GENERAL COMMENTS:**

- 1) An additional follow-up coordination meeting may be required to review project changes necessitated by the DRC comments. Prior to routing your plans for Pre-PZB sign-off, please schedule an appointment with the project planner (call 954-828-5868) to review project revisions and/or to obtain a signature routing stamp.
- 2) If a temporary construction/sales trailer is needed for this project, provide the details and location of the trailer on a separate site plan, to avoid additional review in the future. Verify details and location with the Building Representative.
- 3) Additional comments may be forthcoming at DRC meeting.
- 4) Provide a written response to all DRC comments within 180 days or additional DRC review may be required.

**Case Number:** R15030

**CASE COMMENTS:**

Please provide a response to the following:

1. Consider pre-wiring units for alarm systems.
2. Doors should be impact, metal, or solid core. Secondary locks should be provided along with an 180 degree view finder on solid doors.

**GENERAL COMMENTS:**

The following comments are for informational purposes.

1. Noted impact materials will be used.

It is highly recommended that the managing company make arrangements for private security during construction. Please submit comments in writing prior to DRC sign off.



**Case Number: R15030**

**CASE COMMENTS:**

Please provide a response to the following:

1. Garbage, Recycling and Bulk Trash shall be provided.
2. Recycling reduces the amount of trash your complex creates and it is the best way to reduce monthly waste disposal costs and improve your company's bottom line. Adequate space should be provided within dumpster enclosure to accommodate wheeled recycling carts.
3. Solid Waste Services shall be provided by a Private Contractor licensed by the City
4. Service Days shall be: No restriction for Commercial collection.
5. Solid Waste charges shall be collected in monthly lease with Sanitation account for property under one name.
6. Solid Waste Collection shall be on private property. Container shall not be placed, stored or block the public street to perform service (large multifamily and commercial parcels).
7. Ensure **site plan** clearly indicates (labeled) locations of all solid waste and recycling containers and/or compactor(s) for all uses as proposed in application. Identify containers.
8. Provide on the site plan a garbage truck turning radii for City review. Drive aisle width and design configuration must allow for safe and efficient maneuverability on-site and off-site. Indicate how truck will circulate to/from/within property.
9. Consult DRC Engineering staff to ensure adequate vehicle height and width clearance, configuration for accessibility to containers, and to confirm circulation standards are met.
10. Containers: must comply with 47-19.4.
11. Draw equipment on plan to show location of the containers inside the trash room. *Clarify whether uses on site will utilize compactor, carts and/or dumpster.*
12. Submit a Solid Waste Management Plan on your letterhead containing name of project, address, DRC case number, number of units if applicable, and indicate whether is Pre or Final DRC.
  - Letter should be created on formal letterhead describing what services are to be provided for solid waste and recycling including:
    - Type and size of containers, frequency of service, service provider if known; and
    - Any additional details such as: container type(s), on-site handling and logistics for waste and disposal, specific dimensions as needed (e.g. compactor side and height clearance for haulers' accessibility).
  - This letter is to be approved and signed off by the Sustainability Division, and should be attached to your drawings. Please email an electronic copy to [gmaldonado@fortlauderdale.gov](mailto:gmaldonado@fortlauderdale.gov). Letter should include an analysis of the expected amounts of solid waste and recyclables that will be generated (if different from current capacity), and container requirements to meet proposed capacity.

- Community Inspections will reference this Solid Waste Plan for sanitation compliance issues at this location.

**GENERAL COMMENTS:**

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC: None



**Case Number: R15030**

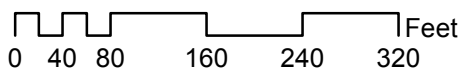
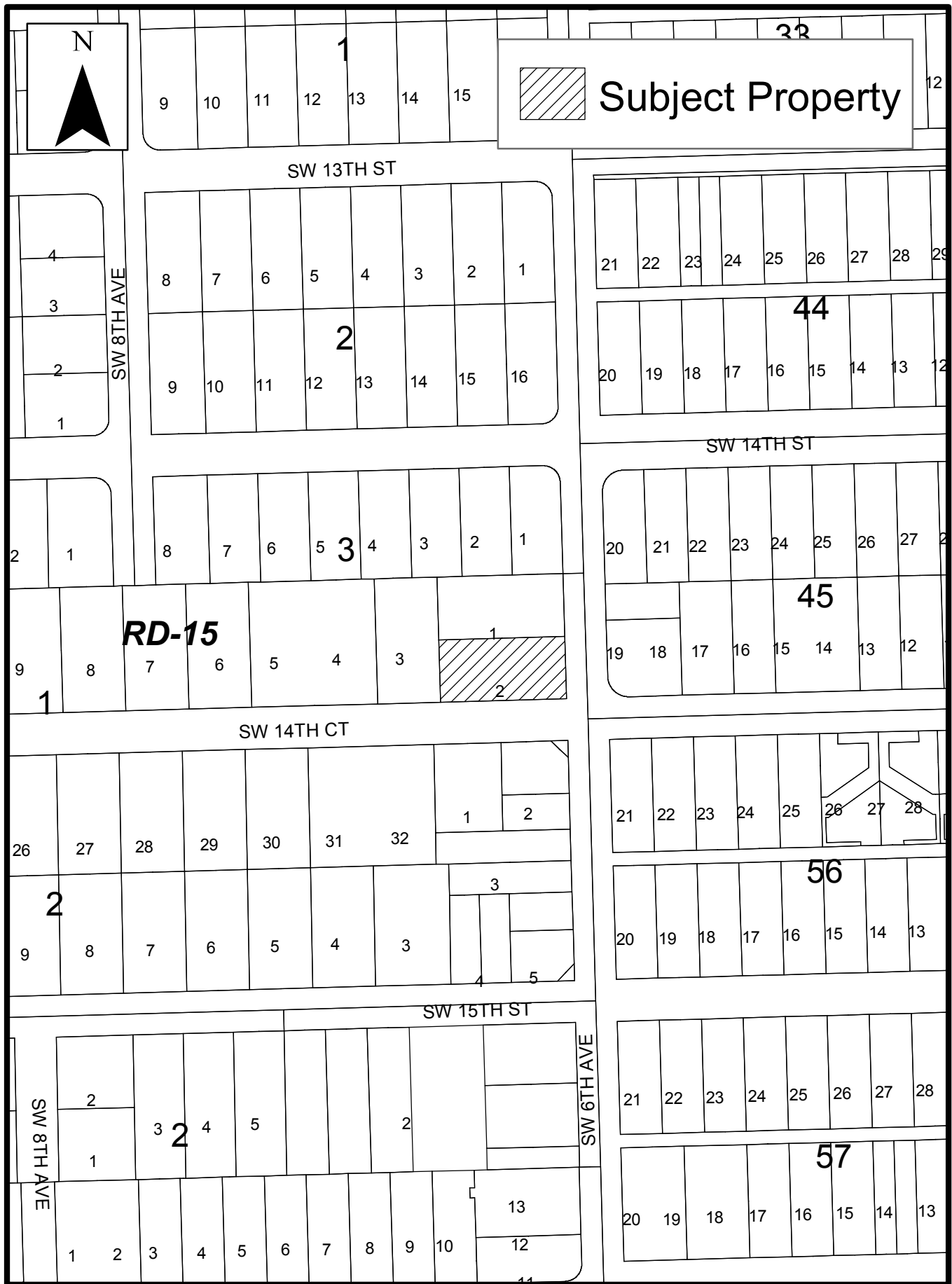
**CASE COMMENTS:**

1. Include bicycle hooks in each garage.
2. Indicate total parking counts on site plan.
3. Ensure all sidewalks and curb cuts are unobstructed and ADA accessible.
4. Additional comments may be provided upon further review.
5. Signature required.

**GENERAL COMMENTS:**

Please address comments below where applicable.

1. Contact Eric Houston at 954-828-5216 or [ehouston@fortlauderdale.gov](mailto:ehouston@fortlauderdale.gov) to set up an appointment for final plan approval.
2. The City's Transportation & Mobility Department encourages the use of sustainable materials such as permeable pavement and electric car charge stations and installation of multimodal facilities such as bicycle pump stations and bike lockers.



**R15030**